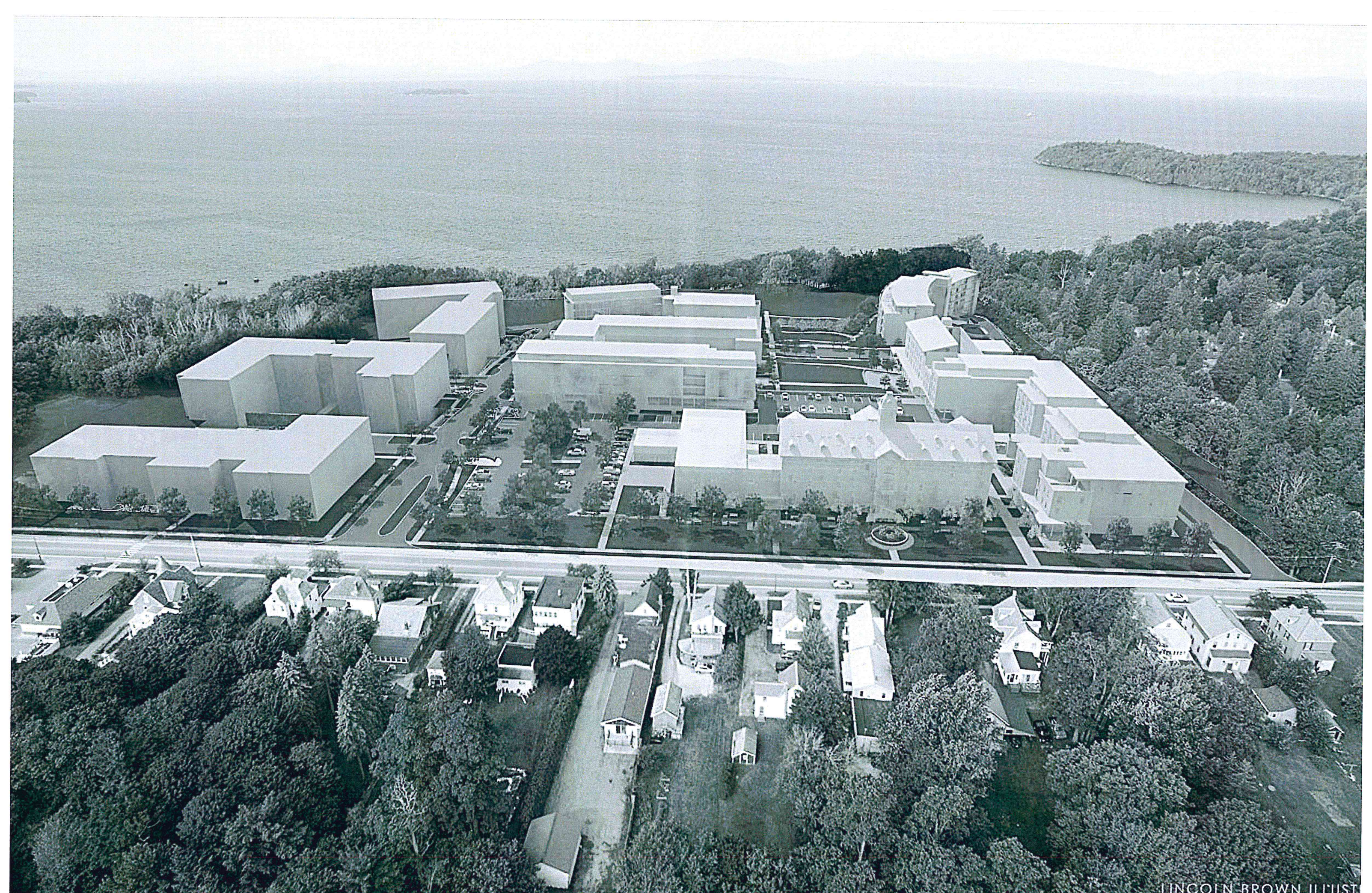


| DEVELOPMENT PROGRAM | | | | | | |
|-----------------------------|------------------|----------|------------|---------------|--------------|----------------|
| Burlington College Parcel | | | | | | |
| Building | Type | Use | Unit Count | Commercial SF | Levels | Garage Parking |
| A | Residential | For Rent | 65 | | 5 Story | |
| B | Existing College | N/A | | 29,500 | 3 Story | |
| C | Multi-Use | For Rent | 68 | 12,500 | 5 Story | 100 |
| D | Parking Garage | For Rent | | | 3 Story | 97 |
| E | Residential | For Rent | 77 | | 5 Story | 90 |
| F | Residential | For Rent | 64 | | 4 Story | |
| G | 351 Addition | N/A | | 17,500 | 4 Story | |
| Sub-total - College Parcel | | | 274 | 59,500 | | 287 |
| BC Community Housing LLC | | | | | | |
| H | Residential | For Rent | 74 | | 4 Story | 62 |
| I | Residential | For Rent | 24 | | 5 Story | 38 |
| J | Fitness | N/A | | 20,000 | Ground Level | |
| K | Greenhouse | N/A | | 3,000 | 1 Story | |
| L | CSC Residential | Sell Off | 70 | | 4 Story | 77 |
| M | CHT Residential | Sell Off | 76 | | 4 Story | 85 |
| N | Residential | For Sale | 50 | | 5 Story | 34 |
| O | Residential | For Sale | 35 | | 5 Story | 32 |
| P | Residential | For Sale | 25 | | 5 Story | 58 |
| Q | Residential | For Sale | 40 | | 4 Story | 22 |
| | Residential | For Sale | 49 | | 5 Story | 105 |
| Sub-total - BCCH Parcel | | | 443 | 23,000 | | 513 |
| Total Residential Units | | | 717 | | | |
| Total Non-Residential Sq Ft | | | | 82,500 | | |
| Total Garage Spaces | | | | | | 800 |

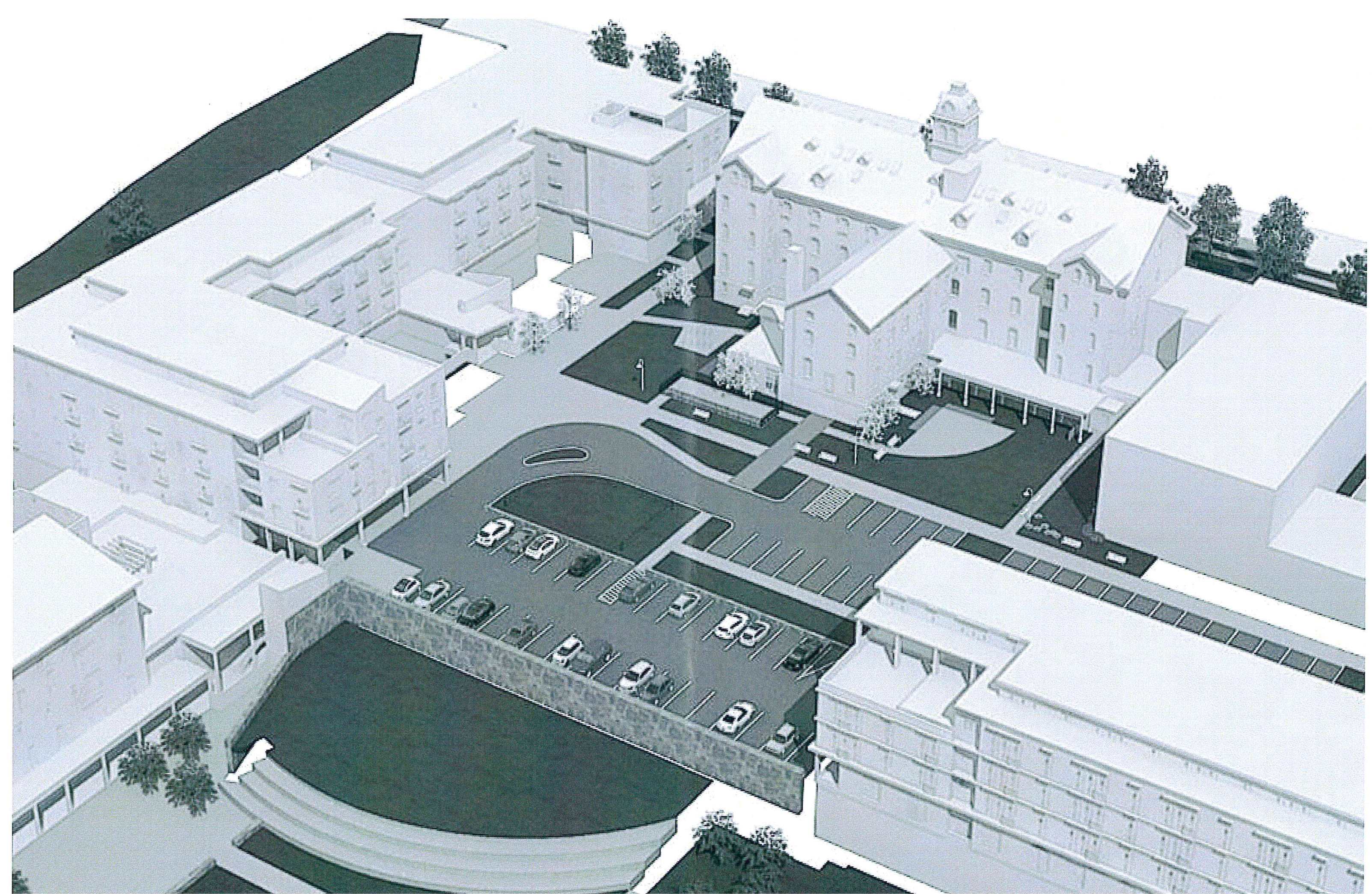
| PARKING SUMMARY | | PER UNIT | |
|--|--|----------|------|
| Total Garage Spaces | | 1.12 | 800 |
| Total Off-Street (Surface Lot) Parking | | 0.38 | 274 |
| Total Private Parking | | 1.50 | 1074 |
| Plus: On-Street (Public) Parking | | 0.11 | 78 |
| Total Parking Spaces | | 1.60 | 1150 |

| COVERAGE CALCS | | | |
|--|----------|--|--------------|
| Building | | | 256,678.00 |
| Walks | | | 90,770.00 |
| Roads | | | 197,772.00 |
| Total Coverage | | | 545,220.00 |
| Paving Outside Development Zone (21.65 ac) | | | |
| Total Coverage (Total Site 33.65 ac - with 12 ac Community Park) | | | 551,320.00 |
| Development Zone Area | | | |
| Development Zone Area | 21.65 ac | | 943,074.00 |
| Total Site Area | 33.65 ac | | 1,465,794.00 |
| Development Zone Coverage (21.65ac) | | | |
| Total Site Coverage (33.65ac with 12 ac Community Park) | | | 58% |
| | | | 38% |

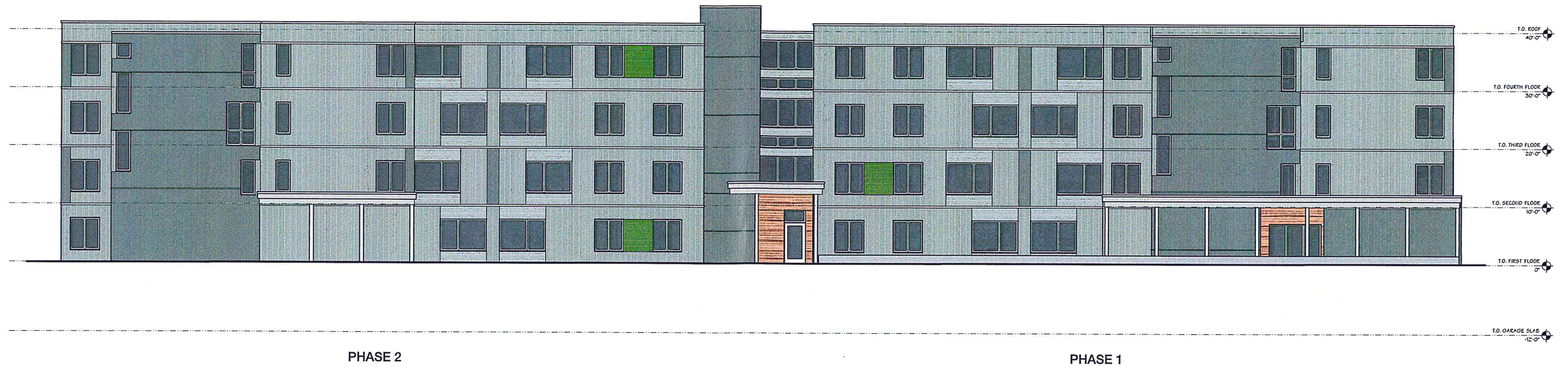




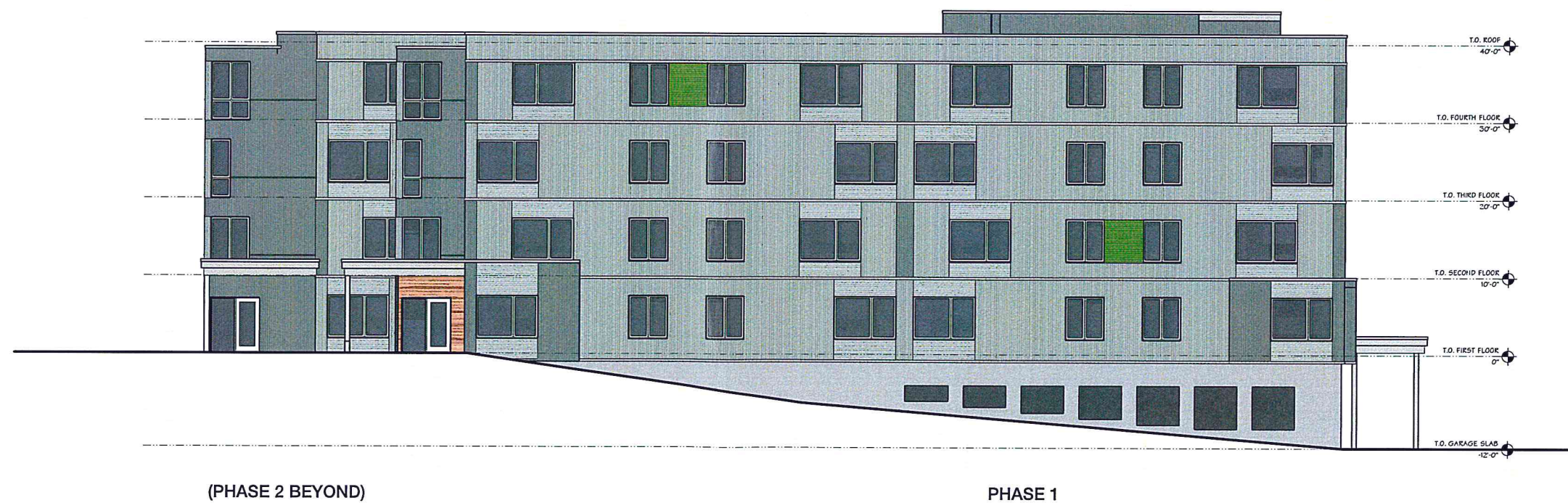








EAST ELEVATION
Scale: 1/8" = 1'-0"



NORTH ELEVATION
Scale: 1/8" = 1'-0"

NEW NORTH AVENUE - CHT

BURLINGTON, VERMONT

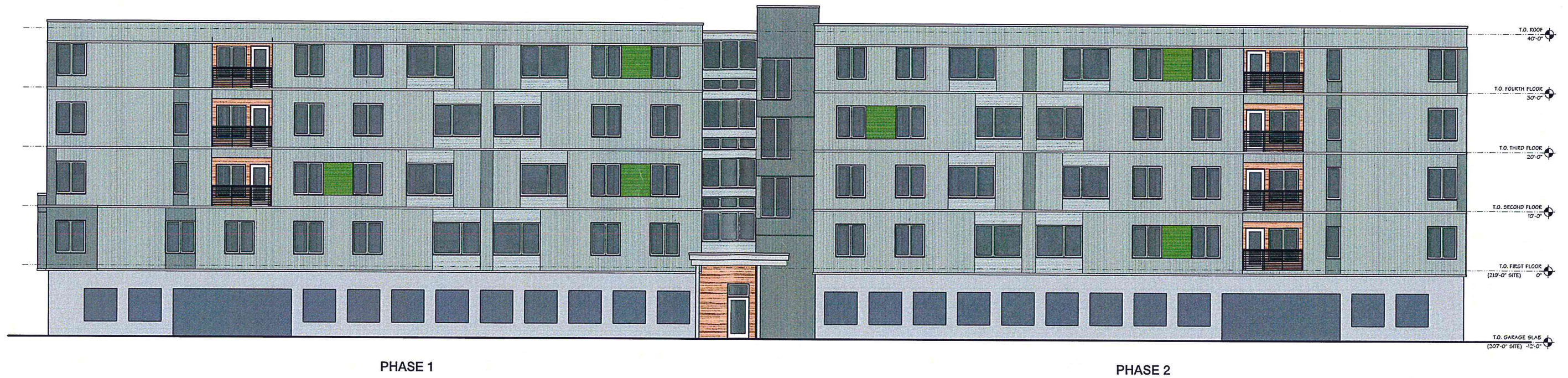
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SCHEMATIC DESIGN

**Duncan
Wisniewski** 
ARCHITECTURE
255 SOUTH CHAMPLAIN STREET
BURLINGTON, VERMONT 05401
T: 802.864.6693

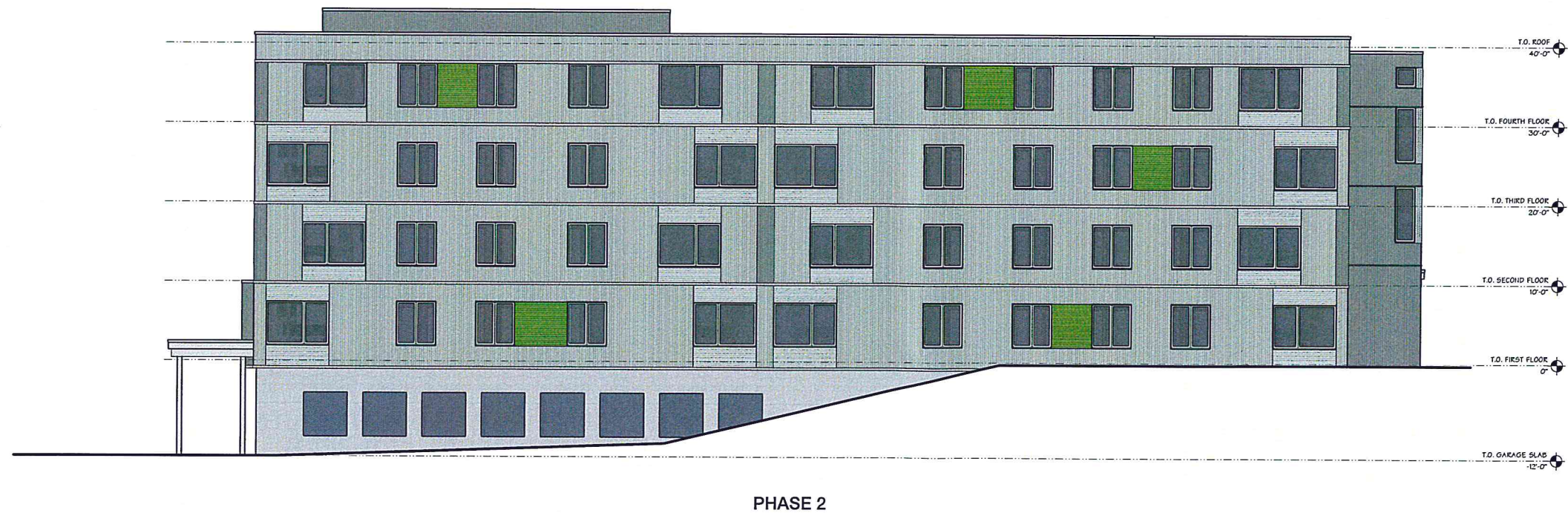
03.09.2016
DRAWN: SJB

A2-1.1



WEST ELEVATION

Scale: 1/8" = 1'-0"



SOUTH ELEVATION

Scale: 1/8" = 1'-0"

NEW NORTH AVENUE - CHT
BURLINGTON, VERMONT

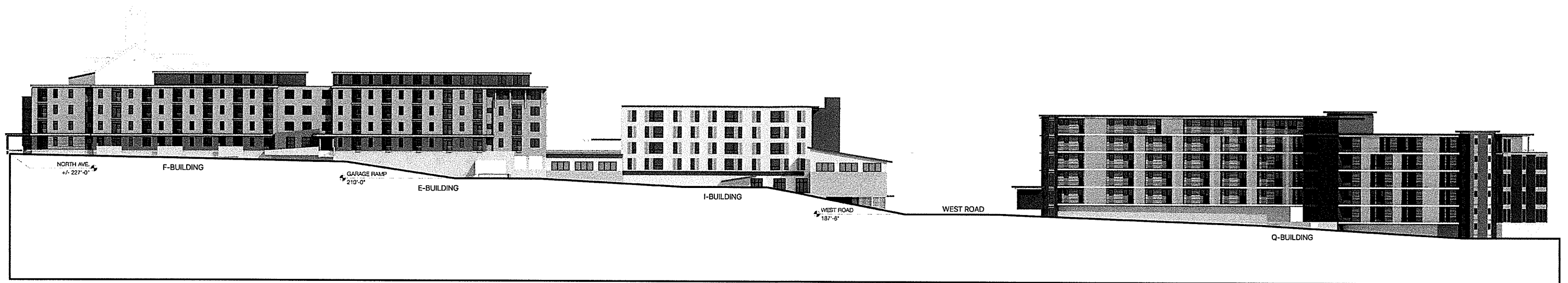
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SCHEMATIC DESIGN

Duncan
Wisniewski
ARCHITECTURE
265 SOUTH CHAMPLAIN STREET
BURLINGTON, VERMONT 05401
T: 802.864.6693

03.09.2016
DRAWN: SJB

A2-2.1



SECTION - NORTH ROAD - LOOKING SOUTH
Scale: 1" = 30 ft



SECTION - NORTH AVE. - LOOKING WEST
Scale: 1" = 30 ft

BC COMMUNITY HOUSING

BURLINGTON, VERMONT

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SKETCH PLAN

Duncan
Wisniewski
ARCHITECTURE
255 SOUTH CHAMPLAIN STREET
BURLINGTON, VERMONT 05401
T: 802.864.6033

04.29.2016
DRAWN: ABC

APRIL 2016

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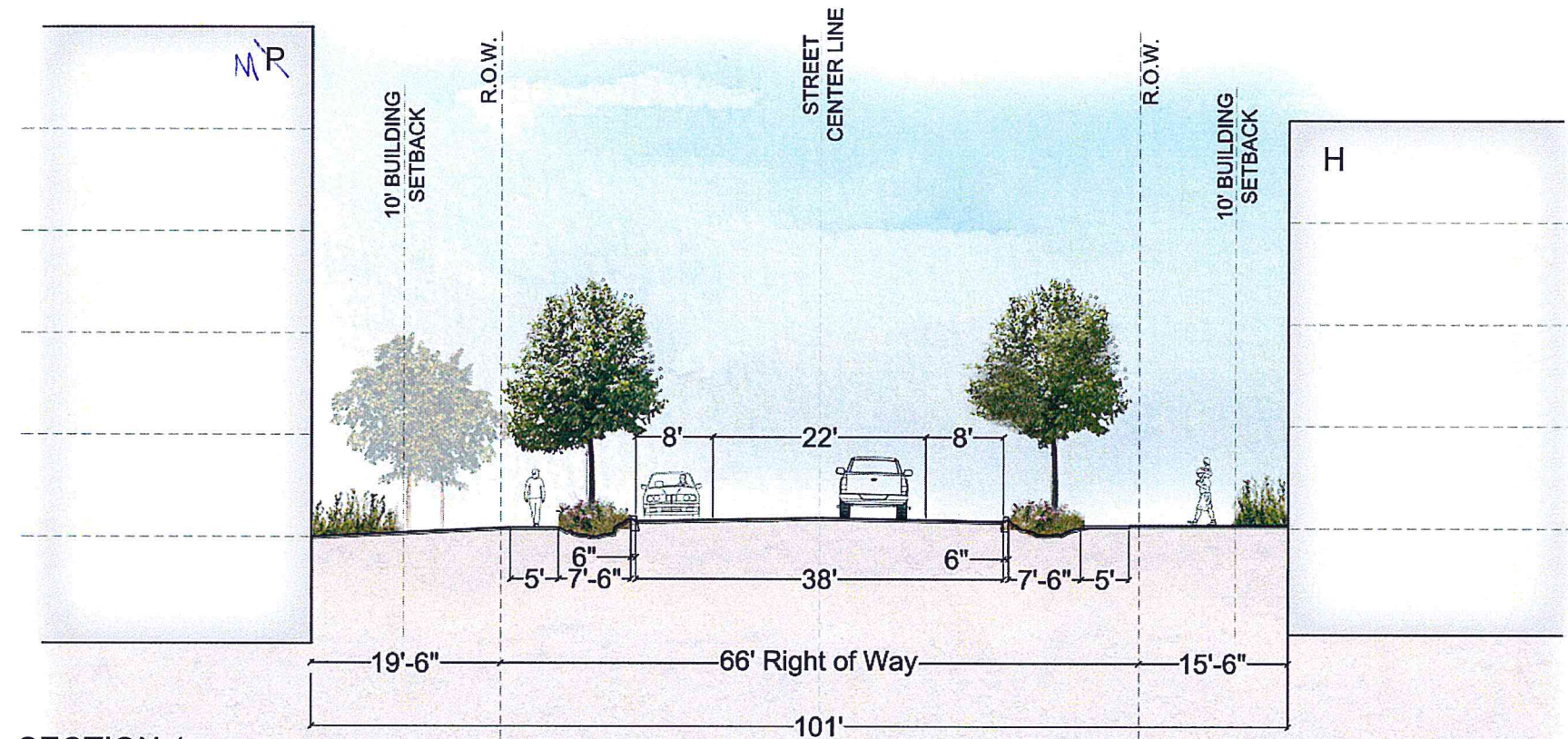
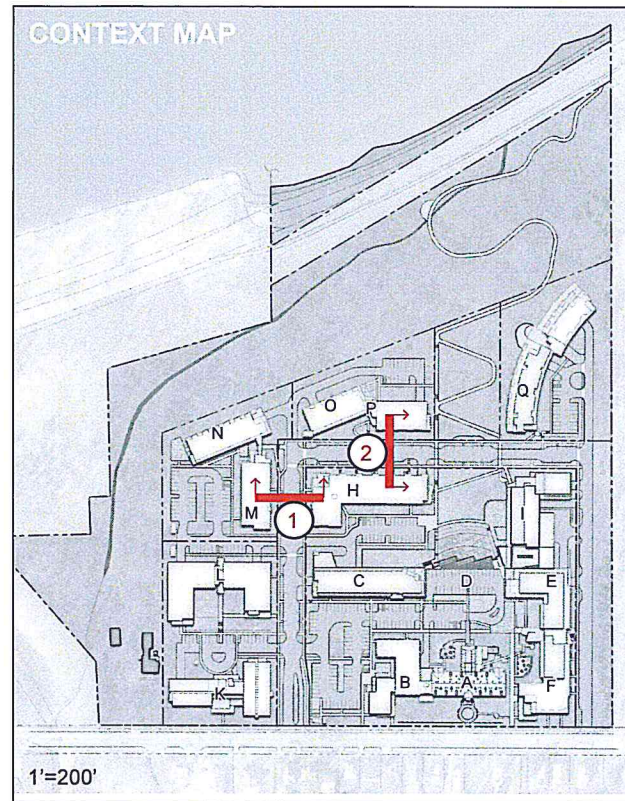
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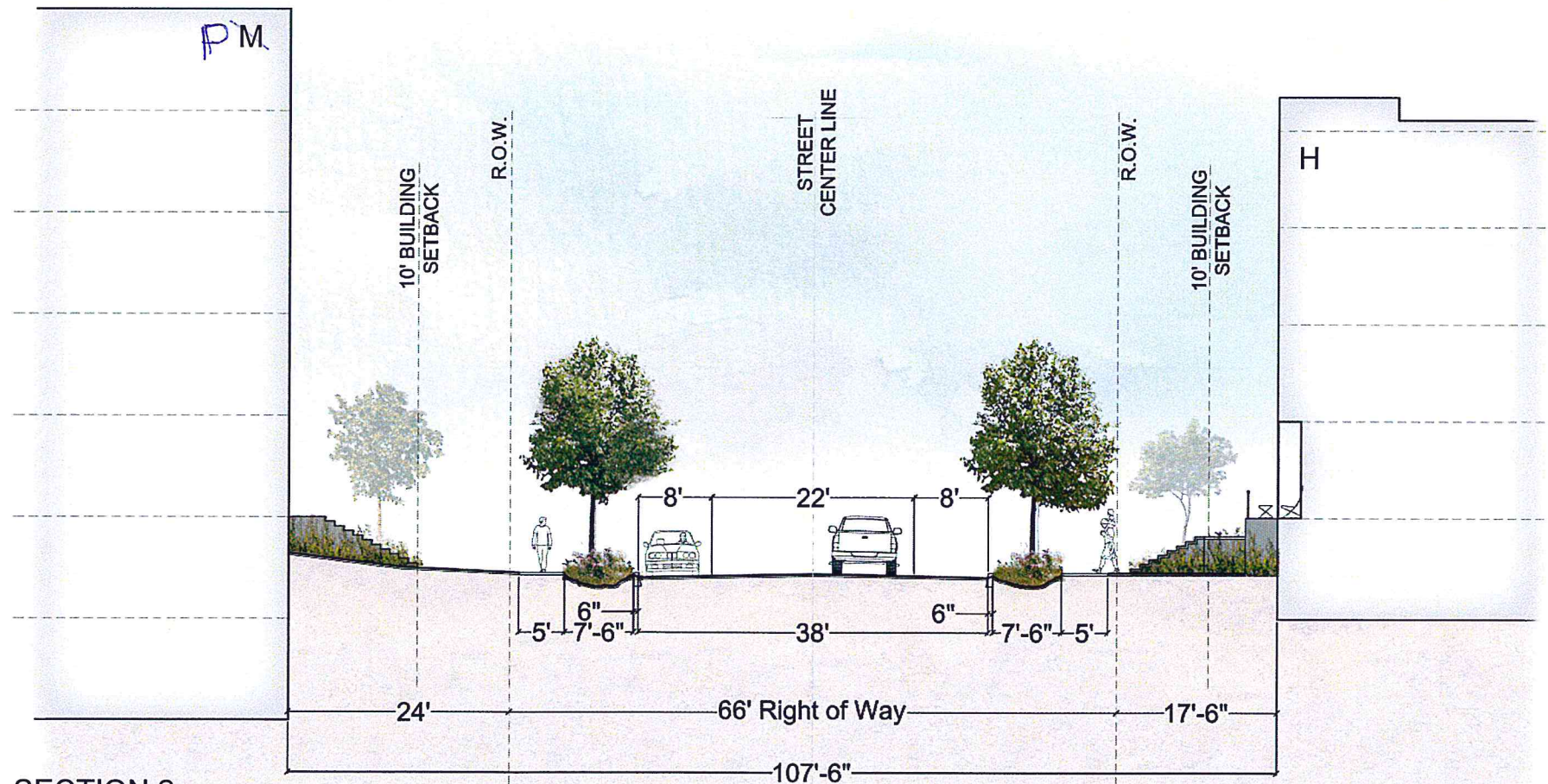


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1 SECTION 1



2 SECTION 2

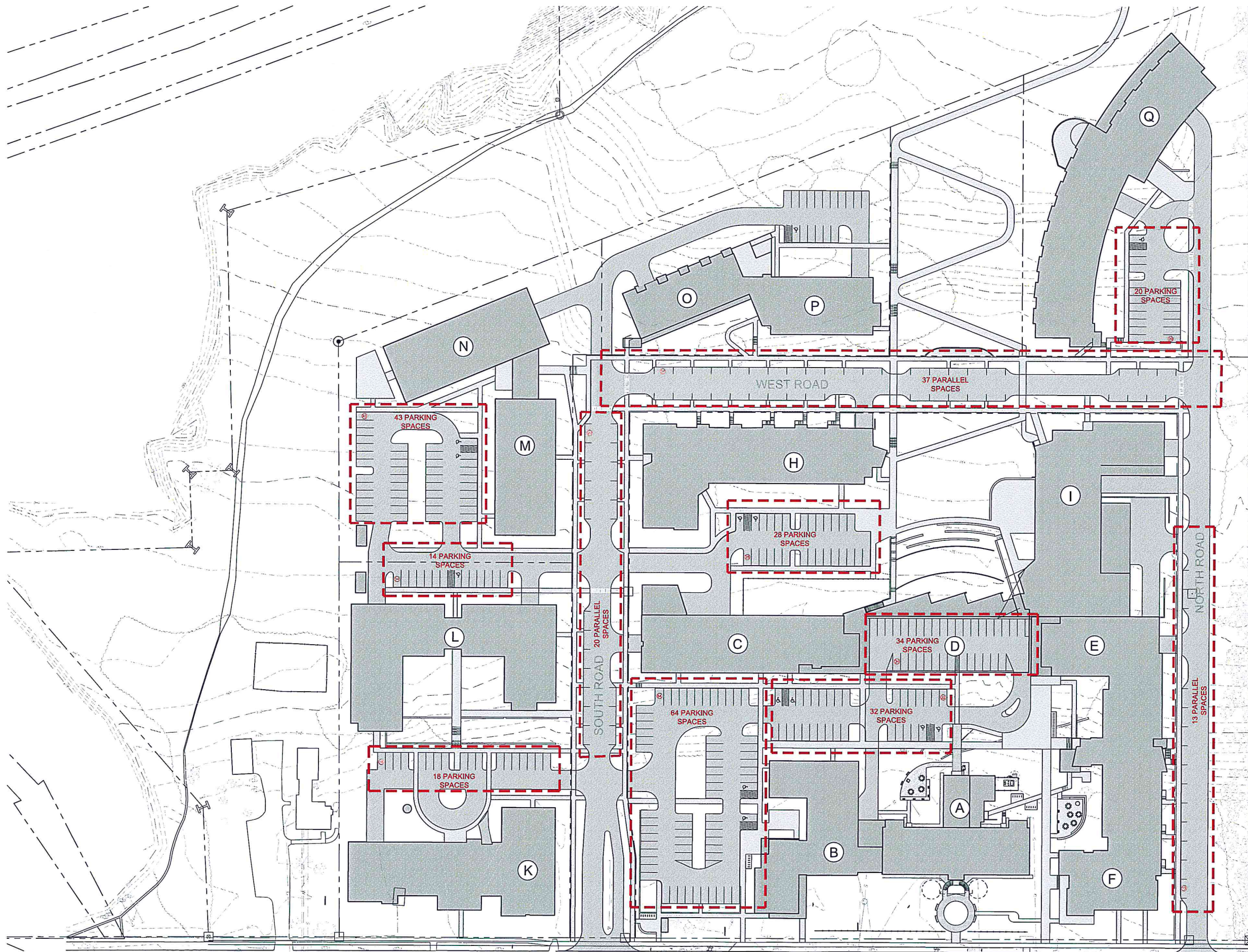
BCCH MASTERPLAN
WATERFRONT ACCESS PLAN
1"=80' - 5/11/2016
DRAFT

LEGEND

-
-  ADA ACCESSIBLE PATH - <5% GRADE
 PATH WITH STAIRS
 EXISTING BIKE PATH - TO BE IMPROVED
 EXISTING TRAIL - TO BE IMPROVED
 PUBLIC ELEVATOR
 BUS STOP
 STREET CROSSING

RECEIVED
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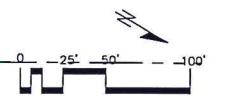
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| revisions | date | revisions | date |
|-----------|------|-----------|------|
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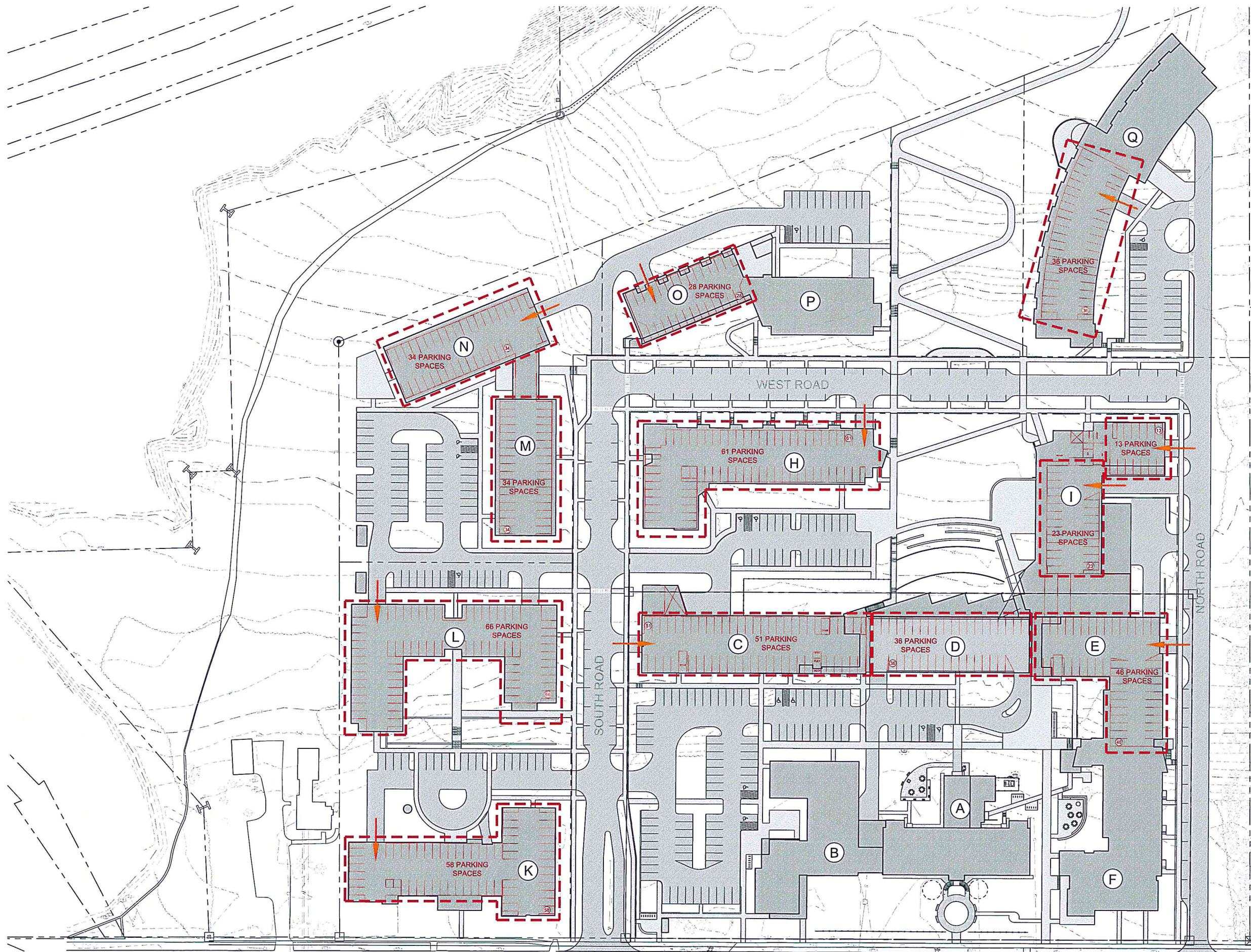
landscape architects planning consultants
301 college street burlington vermont 05401 802 658 3555



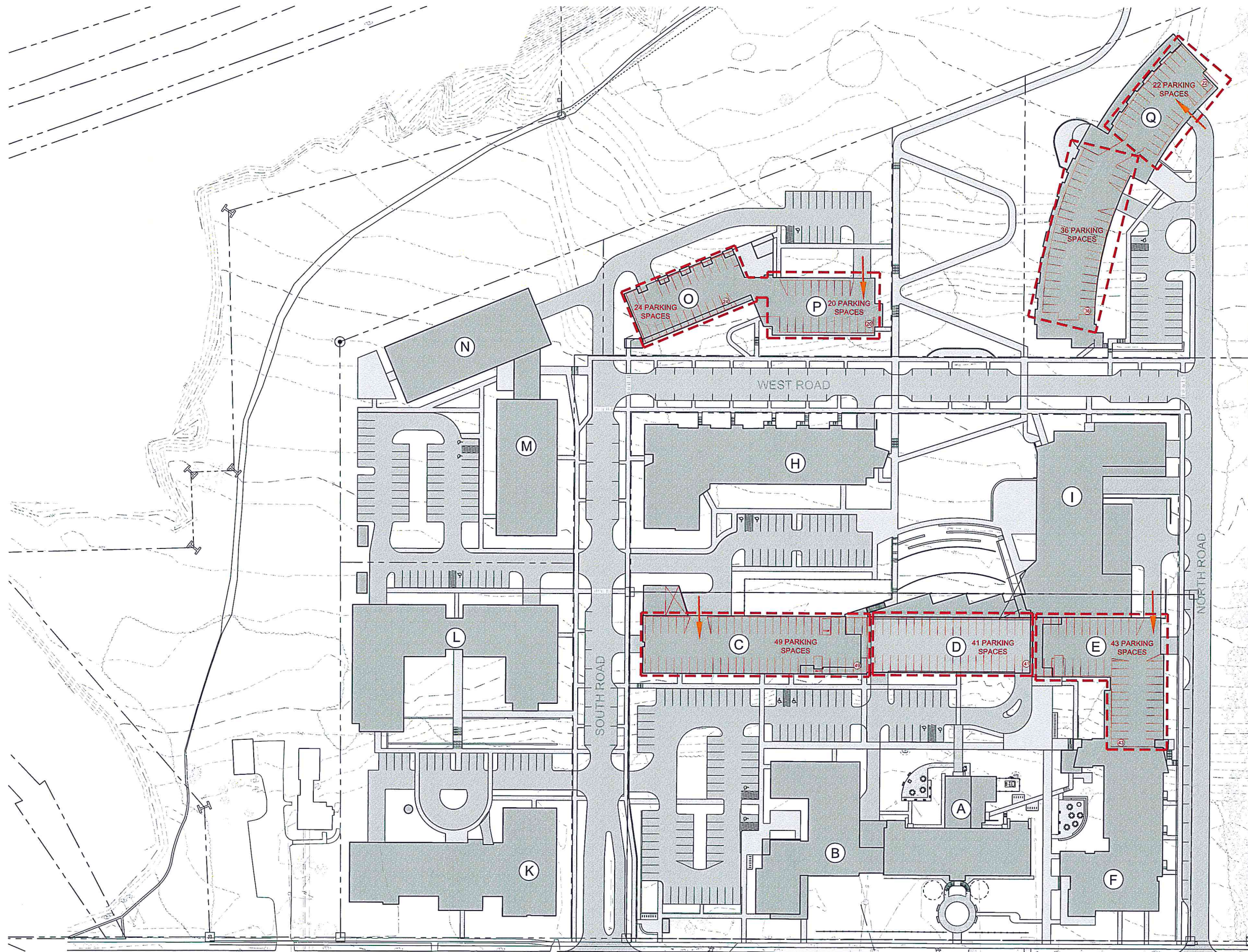
| | | |
|------------|----------|-----------|
| MJB | TKD | 5/11/2016 |
| design by | drawn by | date |
| TKD | scale | 1" = 50' |
| checked by | | |

BC Community Housing
Surface Parking

sheet no: LA-2



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akeview Terrace

| revisions | date | revisions | date |
|-----------|------|-----------|------|
| | | | |
| | | | |
| | | | |

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landscape architects planning consultants
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 MJB
design by TKD
checked by TKD
5/11/2016
scale 1" = 50'

BC Community Housing
P-1 Parking

sheet no: **LA-2**